

# **CONTENTS OF TENDER DOCUMENTS**

## **THE TENDER DOCUMENTS CONSIST OF THE FOLLOWINGS:**

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# S.R.D.A.V. PUBLIC SCHOOL

Chunapur Road, Purnea, Bihar-854303

## TENDER NOTICE

Ref. no: DAV/PS/PURNEA/315

Date:20/08/2025

SR DAV Public School, Chunapur Road, Purnea, Bihar on behalf of DAV College Managing Committee, New Delhi -110055 invites sealed tenders from interested eligible construction companies for construction of **Construction Work of Administrative Block on G+1 floor (06 rooms)** at SR DAV Public School, Chunapur Road, Purnea as per estimate/drawing and design of architect and approved by DAV College Managing Committee, New Delhi-110055 **against the terms & conditions mentioned below:**

1. The lowest quoted rate/ tender will be selected by the competent authority/ Building sub-committee. The offered rates may be negotiated
2. The Work in all respect must be completed within 12 months from the date of allotment of the said work.
3. The details of the work to be done can be obtained by submitting a non-refundable payment of Rs. 5,000/- through Demand Draft in favour of SR DAV Public School, Purnea-A Unit of DAV College Trust And Management Society. Interested parties may visit the proposed construction site if they wish, before quoting the rates.
4. Drawing, design and specifications provided by the Architect should be studied properly before submitting the bid (technical bid / financial bid).
5. Sealed quotations are being sent to the Principal, SR DAV Public School, Chunapur Road, Purnea (Bihar), Pin Code-854303.
6. Technical bid should be submitted on or before **30/08/2025** through email at [davpurnea@gmail.com](mailto:davpurnea@gmail.com).
7. Last date for submitting the sealed financial bid (By post or by Hand) will be **08/09/2025** at SR DAV Public School, Chunapur Road, Purnea or DAV Public School, Etwanagar, Begusrai, Bihar. After that no entry will be accepted.
8. The date, time & venue of opening of financial bid will be communicated through email. It would be mandatory for renderers to be present at the venue on the date of opening of the financial bid/ tender.
9. The competent authority/ Building Sub-Committee reserve the right to accept or reject any of the tenders without assigning any reason.
10. All payments by the employer under the contract/ agreement will be made by mutual understanding on submission of running bill and has to be approved by the designated Architect.
11. The tender must submit a demand draft in favour of SR DAV Public School Purnea- A Unit of DAV College Trust and Management Society @2% of Total Project Value with the financial bid as Earnest Money.
12. The defect and liability period shall be for 12 months. 10% of final approved bill amount of the contractors shall be retained as Retention Money upto 12 months from the date of handing over of the constructed building.

Ashwani Kumar Singh

Principal

SR DAV Public School, Purnea

S.R.D.A.V. PUBLIC SCHOOL  
CHUNAPUR ROAD, PURNEA

PIN-854303

K.K. Sinha

Manager

SR DAV Public School, Purnea

S.R.D.A.V. PUBLIC SCHOOL  
CHUNAPUR ROAD

Purnea

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Sabita

Asstt. Regional Officer

DAV Public Schools

Bihar Zone-C

Asstt. Regional Officer

DAV Public Schools

Bihar Zone-C

## **INSTRUCTIONS TO TENDER**

1. The tender will be received in two-bid system i.e (i) Technical bid & (ii) Financial bid in sealed separate envelope. Technical bid envelope will contain all the required documents except B.O.Q. Financial bid envelope will contain only duly filled in & completed in all respect with proper signature & seal B.O.Q. provided by the school. The full name and address of the Tender and name of work shall be written on cover.
2. All entries in the tender documents shall be clearly written in English. Corrections if any shall be clearly made and duly signed and dated by the tender. Erasures and over writing shall not be permitted and shall render the tender liable to rejection.
3. The tenderer shall sign each and every page of the tender documents including the drawings attached here to.
4. Unit rates shall be quoted in figure with reference to each item in the attached Bills of Quantities. These rates shall be for the finished work at site with materials, including GST and any offer applicable Tax.
5. Any error in description of terms in the Bill of Quantities or any omission there from shall not vitiate the contract or release the contractor from his obligations of the whole or any part of the works comprised therein or from any of his obligations under the contract. Any error in the rates in the Bill of Quantities shall be corrected in accordance with the following rules. (i) All errors in totaling, in the amount, columns and carrying forward, total shall be corrected. (ii) In case the amount in words and figure differ, the lowest will be taken as correct.
6. In quoting the rates, the tender is advised to take into account all taxes levied by Central or State Government, statutory or other local bodies. If any other tax is levied on works, this will also be allowed provided documentary record is produced.
7. Before tendering, the tender is advised to inspect the site of works and its environment and shall be acquainted with actual working and other prevalent conditions, position of materials and labour, condition of contracts, drawing and specifications and all other documents which from part of the agreement.
8. The contractor will make his all arrangements to obtain all materials required for the work. The owner will only make the applications to full fill the formalities, if necessary, in procurement of any material for the work. The contractor will be responsible for collection of materials at his cost from dealers or suppliers against the release order, if any, furnished by the employer to the contractor.
9. The tender shall give his previous experience for having carried out works of similar nature in the last 5 years supported by quality of works & completion certificate within the stipulated time.
10. Tender will give the details of plant and machinery, details of technical staff and work in hand. These should be furnished in the proforma in separate sheet.

11. Tender shall along with their tender submit the following:

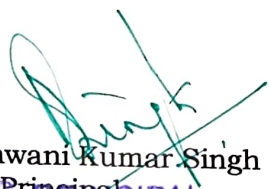
- a. Deviations if any from the tender specifications.
- b. Supplementary details required for the evaluation of the tender like drawings, technical detailing etc.
- c. Certificate from the scheduled bank to prove their financial ability to undertake the work.
- d. Proof for technical and organization ability to execute the work in its various aspects.
- e. The organization pattern that will be employed and the names of the qualified Engineers who will be employed together with their qualifications and experience.
- f. Income-tax clearance certificate.
- g. Labour License from Govt.
- h. G.S.T Certificate
- i. PAN Number
- j. Partnership deed/company profile.
- k. Power of Attorney.
- L. Valid email Id & Contact number


12. Each page of tender documents shall be signed by the tender with his usual signature. Tender by partnership or Hindu joint family firm may be signed in the firm's name by one of the partners or managers as the case may be or any other duly authorized representative followed by the names and designation of the person so signing. An attested copy of the partnership deed must accompany the tender of any partnership. Tender by a company shall be signed with the name of company by person authorized in this behalf and a power of attorney or other satisfactory proof showing the persons signing the tender document on behalf of the company duly authorized to do so shall accompany the tender.


13. Receipts of payment on behalf of work must be signed by authorized person of the firm or partners.

14. The owner inviting the tenders shall have full right to reject all or any tender without assigning any reason and shall not be bound to accept the lowest tender.

12. The tender shall sign the declaration with the official for maintaining the secrecy of tender documents, drawings or any other record. The unsuccessful tender shall return all the drawings.

  
Ashwani Kumar Singh  
Principal  
SR DAV Public School, Purnea  
CHUNAPUR ROAD, PURNEA  
PIN-854303

  
K.K. Sinha  
Manager  
SR DAV Public School, Purnea  
S.R.D.A.V. Public School  
Chunapur Road  
Purnea

  
Sabita  
Asstt. Regional Officer  
DAV Public Schools  
Bihar Zone-C  
Asstt. Regional Officer  
DAV Public Schools  
Bihar Zone-C

## ARTICLES OF AGREEMENT

This AGREEMENT is made on this ..... day of ..... 2025 between SR DAV PUBLIC SCHOOL, CHNAPUR ROAD, PURNEA, BIHAR (herein after called as “ Owner”) of the one part and M/s..... having their registered Office at.....through its Owner/ Director/ authorized signatories (herein after called “the Contractor”) of the other part.

**WHEREAS the OWNER is desirous of Construction Work of Administrative Block G+1 floor (06 rooms) at SR DAV Public School, Chunapur Road, Purnea as per estimate/drawing and design of Architect and approved by DAV College Managing Committee, New Delhi-110055 and has caused the drawings, specifications and the schedule of quantities, describing the work to be done, prepared by M/S, Kapoor and Associates, Architects, Engineers, Computer Aided Design, 100B, Opposite P&M Mall, Patna – 800013 (Bihar) (hereinafter referred as the Architect’)**

AND WHEREAS the said drawings, specifications and schedule of quantities and other documents forming part of this contract have been signed by or on behalf of the parties here to.

WHEREAS the CONTRACTOR has agreed to execute and complete the works as per the drawings& specifications provided by the architect **on item rate basis** hereinafter referred to as “**the contract amount**” to the entire satisfaction of the OWNER and the ARCHITECT.

It is a renovation & painting work to carry out the **Construction Work of Administrative Block on G+1 floor (06 rooms)**

for which payment will be made according to the actual measured quantities and rates indicated in the attached BOQ/per square feet rate.(The quantities mentioned in the attached schedule are only approximate and liable to variation).

1. The contractor hereby under stands that time is the essence of contract and agrees to complete the construction work within **12 months**, since commencement/ taking over of the site. If the delay is caused beyond the control of the CONTRACTOR, the OWNER/ARCHITECT shall grant such extra time as may be necessary for completion.
2. Penalty clause for the delay will be levied @ Rs.500/- per day or part thereof.
3. The progress of the work should be uniform and if the quantity of work or progress is not satisfactory, the OWNER can terminate the CONTRACT and settle the account of contractor for the work done. However, the CONTRACTOR is not eligible for any compensation for the unexecuted works.
4. The CONTRACTOR is responsible for the welfare of the laboures engaged by him and any damage claimed by the laboures in case of any accident or otherwise is to be paid by the CONTRACTOR.
5. The CONTRACTOR must ensure that the insurance of labour has been done before starting the work.
6. The OWNER/ARCHITECT reserves the right to appoint another agency and proceed with the work whether or not the amount due to the CONTRACTOR is settled immediately, provided the measurements have been taken and accepted by both the parties. In settling the bill, the OWNER reserves the right to deduct part of the above, if the workmanship is inferior or suffered damage on account of the lapse of the CONTRACTOR.
7. The OWNER has the power to award some of the items or part of the items of the works to other agencies.

8. The CONTRACTOR shall execute the works as per the plans approved by the OWNER/ ARCHITECT and as per the specifications indicated in their quotations and in the schedule attached. In case of any discrepancy or ambiguity, the CONTRACTOR has to consult the OWNER/ARCHITECT before executing the work.
9. Any Technical dispute arising out of the agreement shall be referred to the **“Architect” M/S Kapoor and Associates, Patna** or arbitration will be called. The decision of the arbitrator will be binding on both the parties.
10. Water and electricity for the construction work will be provided by the employer/owner and 1.0% of cost of construction will be deducted from the passed bill of CONTRACTOR.
11. All payments by OWNER under the contract will be made by mutual understanding and bill approved by the “ARCHITECT” M/S Kapoor and Associates, Patna.
12. The **defects liability period** shall be for **12 months** after entire construction of the (Renovation and Painting work of Block –I , Block-II & Block –III (School Building Repair of Classrooms, Repair of Front side –1 , Repair of Front side –2 , Repair of Front side –3) & Painting of New Building (Fanishwarnath Renu Block) till it completion and handed over to the owner. 10% of the payment on (Running Bill) of the contractor shall be retained up to twelve months from the date of handing over fully completed aforesaid construction works.
13. 01 Percent (%) Cass of Bihar Govt. will be deducted from tender amount for the aforesaid construction works to be paid to Secretary, Bihar Bhawan, Patna.
14. 01 percent of the past running bill will be deducted as security money which will be reimbursed/adjusted at the time of making payment of passed final bill.
15. TDS Will be deducted from the past running bill as per it rules.
16. The CONTRACTOR should use only the best quality material sand they should confirm to Indian standard specifications. The quantities included in the schedule are only approximate and no extra rate will be allowed due to any changes in quantities.
17. The CONTRACTOR has to arrange all the materials to be used for the said construction at their own but has to ensure the used materials should be of approved & good quality. No additional payment will be paid by the owner against carriage, cartage etc.
18. The OWNER reserves the right of addition and alteration or omitting any item of works without prejudice of this contract.
19. The all parts of the ARTICLEOF AGREEMENT has been fully read and understood.
20. The defect and liability period shall be for 12 months. **10%** of final approved bill amount of the contractors shall be retained as retention money up to 12 months from the date of handing over of the constructed building.

\_\_\_\_\_  
OWNER'S SIGN.  
WITNESS:

\_\_\_\_\_  
CONTRACTOR'S SIGN

1.-----

2.-----

## **MEMORANDUM**

To  
The Principal  
S.R.D.V.Public School. Purnea  
Bihar -854303

### **Ref: - Tender for Construction Work of Administrative Block on G+1 floor (06 rooms)**

Respected Sir/Madam,

We have thoroughly verified the tender documents related to construction of above-mentioned work. We are hereby filling up tender for the construction of above entire work as per specifications, drawings and design within specified time and rates specified in BOQ and in accordance with terms and condition of contract as specified in memorandum.

### **MEMORANDUM**

Sl.No.	Name of Work/Estimate	Work details
01	Construction Work /Area	Construction Work of Administrative Block on G+1 floor (06 room) , Area -2385 Sq.ft.at SR DAV Public School, Purnea, Bihar
02	Estimated Cost	<b>Rs. 45,31,500 – Rs. 1,53,469/- = 43,78,031/- including GST</b>
03	Deduction of item No.1 (13(5.9.16.1))	As per DAV CMC the cost of <b>Rs. 1,53,469/-</b> for edge shuttering has been deducted from the estimated cost due to the presence of a peripheral beam.
04	Earnest Money	2% of Total Estimated Cost in form of Demand Draft in Favour of SR DAV Public School, Purnea-A Unit of DAV College Trust And Management Society.
05	Security Deposit	Earnest Money of the successful tender will be converted as Security Deposit @5% of total project value.
06	Retention Money	Security Money @10% will be deducted from the past running bill. This amount will be kept as Retention Money against structural defect liability for 12 months from the date of handing over fully completed building in all respect.
07	Construction time	12 months from 15 <sup>th</sup> days of finalization of tender.

I agreed here by to abide by and fulfill all terms and conditions of the said. Work as mentioned in the tender documents. In case of default, owner can forfeit the money as mentioned in the said conditions.

If/we fail to commence the work specified in the memorandum, owner can forfeit the earnest money without prejudice to any other right or remedy or the said earnest money can be retained by towards security deposit in both cases of acceptance of full and part tender.

In the event of tender being accepted, I/We agree to enter into an agreement as and when required and execute the contract as per agreement and complete the work within time limit. In case of default, I hereby agree to forfeit my aforesaid deposit.

I/We agree here by not to sublet the contract without the permission of Owner/Architect.

I/We agree hereby to pay the all taxes to the Government, insurance and other taxes as per prevailing from time to time which are included in rates quoted by me.

## DECLARATION

I/ We hereby declare that I/We shall treat the tender documents, drawings and other records as secret confidential documents. Failing so, I will be are punishment as decided by the owner.

Contactor Signature

Address: \_\_\_\_\_

Place: \_\_\_\_\_

Date.: \_\_\_\_\_

### Witness:-

1. \_\_\_\_\_

2. \_\_\_\_\_

The above tender is accepted hereby by me for sum of Rs. ....

(Rupees ..... ) dated

the.....day of.....2025.

Owner's Signature.

## **TERMS AND CONDITIONS FOR CONTRACT**

### **Registration:**

1. A person/firm shall have to be registered with Central Govt./State Govt/ an agency of National repute/ concerned Zone of DAV Public School. Decision taken in this regard by concerned Zone will be full and final.

### **Qualifications:-**

1. A person/ firm engaged in building renovation/construction activities.
2. A person or group of person shaving qualification of Civil Engineering /Architecture/ Town planning.
3. A person/firm having updated contract's license for building construction from concerned government department.
4. A person /firm having updated valid Pan number from concerned government department.
5. A person/firm having updated Service tax number from concerned government department.
6. A person/firm having updated TIN number from concerned government department (if, applicable).
7. A person /firm having updated VA number from concerned government department (if, applicable).
8. A person/firm having updated labour license from concerned government department (if, applicable).
9. A person/firm having updated GST number from concerned government department (if, applicable).

### **Duties and responsibilities so contractor:-**

1. A person / firm shall appoint qualified civil engineer at site to carry out the work as per approved drawings, design, specifications and agreement.
2. A person/firm shall not cause or allow any deviations from the approved drawings until written permission from the concerned authority is obtained. A person/firm shall bear responsibility for any irregularity committed in the use and function of the buildings or its part during execution of the project.
3. A person/firm shall provide certificate for structural stability of construction along with Adequate protection against fire hazards likely from installation of services like electrical installation, plumbing, drainage, sanitation, water supply, firefighting etc.
4. A person/firm shall hand over the fully constructed G+1(06 rooms) to concerned one within agreed time of renovation / construction; failing so shall be charged penalty as per agreement.
5. A person/firm shall be responsible for its own construction material at site for its safety.
6. A person/firm shall construct shed for storage of material and stay of laboures at its own cost at allotted place by school.

**Commencement of work:** From the 15<sup>th</sup> day after acceptance of tender the work will have to be started by the contractor.

**Defects liability period:-**12 months.

**Security Deposit** :5% of the value of work. After reviewing the Renovation work & its quality the deposited security money may be released/adjusted according to the completion of work certified by an architect.

**Bihar Govt. Cess** : 1%of the tender amount/ final billed amount/as per Govt. of Bihar norms.

**Agreed liquidated** : 0.5% of the accepted damages for delay contract sum per week of delay subject to maximum of Security deposit (S.D.) amount.

**Final Measurement Time:** 2 months

**Extension of Time:-** Contractor will have to apply in writing within 30 days of any hindrance in execution of work for extension of time to the Architect. Cause of hindrance will be discussed with owner and if the authorities get convinced with the case, extension of time will be granted.

**Completion certificate:-** Contractor will issue notice of completion within 10 days of completion of work to the owner. Within 30 days of such notice, Architect will verify the work, and if there is no defect in such work, certificate of completion will be issued to contractor, otherwise no completion or provisional certificate of completion will be issued and work will not be considered final. Payment will be made at reduced rate. After completion of work, contractor will have to remove all his belongings, rubbish, surplus materials and cleaning of dirt on or before the completion date. Failing so, the Architect may, at the expense of the contractor, get removed such scaffoldings, surplus materials and rubbish etc. and contractor will have no claim except for any sum realized by the sale of aforesaid.

**Work standard:** Contractor will execute the whole part of the work as per specification, drawing and design furnished.

**Alteration in drawings and specification:-**

The owner shall have right to make any alteration, addition, omission and substitution in drawing, design, instruction and specification, which appear accessory. The contractor shall carry out the work in accordance with such instruction which may be given to him in writing signed by Architect. Cost of such additions and alterations shall be decided on the actual work done or similar class of work done or on the rate of agreement based on SOR Patna. In case of non-schedule items market rate will be considered.

For minor changes, no extra payment will be given to contractor. The extension of time of completion will be decided as per additions or alteration to be done.

**Tools and Plants:-**

The contractor will provide all tools, plants, appliances, ladder, mixer, vibrator etc. related to construction work. The contractor will arrange his own labour with the means and materials for weighing, counting, setting out works and assisting in measurement. Failing so, the owner will provide for doing the same at the cost of contractor.

**Damage control:-**

In case any part of building, road, kerb, fence, water pipe, cable, drain, telephone, wire, tree, shrubs, grass etc. gets damaged by contractor's people or if any defects, shrinkage or other faults appear in the work within 12 months after completion, contractor will make the same good at his own cost. Otherwise, amount will be deducted from the security money or from the bank guarantee.

**Measurement of work:-**

Before taking any measurement related to bill, contractor will be given week time notice. If the contractor fails to attend such measurement after such notice, then in such case the measurement taken by the Architect/ by the representative as the case may be, shall be final and binding on the contractor. Contractor will have no right to dispute the same.

**Dismissal of workman:-**

The contractor on the instruction of Owner/Architect will immediately remove his working person, who may in the opinion of the Owner/Architect be unsuitable or incompetent. For such loss no compensation will be given.

**Insurance against fire/Earthquake:**

The contractor shall insure the work till completion of work due to loss by fire, earthquake, flood, cyclone, riots etc. The insurance will be placed with company in the joint name of owner and contractor, Owner being the first beneficiary. The amount of premium, renewal will be paid by the contractor, and the receipt of the premium will be deposited within 21 days to the Owner from the date of issue of work order. Failing so, the Owner will proceed for insurance and amount will be deducted from the contractor.

**Sublet of work:-**

The contractor shall not sublet or assign the contract without the written permission of Architect/Owner. In case contractor is found doing so, or be come in solvent or commence any insolvency proceedings, if any bribe, gratuity, gift, loan, reward, or any of his servants or agent promise or offer to any public officer or person in the employ of the Owners, contractor will be penalized for that and even he can be black listed by the owner.

**Arbitration:-**

All disputes related to drawing, specification, quality of work man ship, materials, bill etc. will be settled by Architect or arbitration will be called by the Owner. Contractor is allowed for calling arbitration within 90 days of intimation related to payment ready from the owner. Decision taken by the arbitrator will be final and binding on both the parties.

**Lump sum estimate:-**

In case of lump sum based tender in respect of parts of the work, the contractor shall be entitled for payment for the work involved. If the part of the work in question is not to be measurable, Architect at his discretion can pay the lump sum amount entered in the estimate.

**Payment:-**

Mode of payment for construction will be as per agreement depending on school. Contractor for payment, will be eligible only after verification of running bills/ final bill of work done by concerned architect of the work.

Taxes: Deduction of TDS and all taxes will be applicable as per prevailing government rules and regulations.

1. GST is the liability of contractor. School will not make any payment for that.

**Retention money:-**

“Retention money “of 10% of the total amount of certified bill will be kept up to 12 months of defects liability period and shall be released only after making rectification of de facts, if any, during this period. An equivalent amount of “Bank Guarantee” in approved format can also be accepted for the same period as “Retention money”.

**Important Notes:-**

1. DAV Public Schools may de bar or blacklist the contractor depending upon quality of work done or performance.

## **TECHNICAL SPECIFICATIONS**

All civil work materials shall be of high- quality and ISI mark and execution of each and every item of works shall be carried out as per BIS, NBC & C.P.W.D. specifications.

### **Concrete/ Work Materials Mix:**

- The paint of an approved brand with two or more coats to make a smooth surface may be used in the interior painting (Berger, Asian Paints).
- The painting work should be completed under the supervision of the School Building Sub-Committee to verify the number of painting coats applied by the selected contractor.
- A proper measurement record of painted/billed areas and a material stock register should be maintained in the school.
- The work should be executed by inviting proper tenders in accordance with the approved specifications and quantities, with item-wise tendering.
- The work should be awarded to the lowest bidder after thorough negotiation and clarification of tender items, ensuring completion within the estimated cost, including GST.
- The Architect must take full responsibility for workmanship, ensuring the use of high-quality materials and completing the work within the estimated cost.
- **Structure/Abstract Works:**

kapoor and associates  
ARCHITECTURE | INTERIOR DESIGN | URBAN DESIGN  
100-B, Patliputra Colony, Opp. P & M Mall  
Near Notre Dame Academy, Patna 800013  
Tel/Fax: 0612 - 2267175 / 2275624  
E: contact@kapoors.biz | Web: www.kapoors.biz



REF:DAV/04845/2025

August 11<sup>th</sup>, 2025

### **DAV PUBLIC SCHOOL, PURNEA** **SPECIFICATIONS AS PER ESTIMATE**

#### **Brief Specifications for DAV Public Schools(for Bihar Zone):**

##### **CONCRETE MIX:**

THE MINIMUM GRADE OF CONCRETE WHICH CAN BE USED IS M:25 ALL CONSTRUCTION UNDER THIS CONTRACT SHALL BE OF M:25 CONCRETE.

1. **Structure** : Frame Structure generally with a group of under reamed piles, pile caps or with Open Foundations and tie beams as / standard design. All RCC work to be done in the specified mix, with mixers / vibrators / etc.
2. **Plinth Height** : 2'-6" from Existing Ground Level / As per Site condition.
3. **Superstructure** : 10" brick walls in C.M 1:6, 5" reinforced brick walls in C.M 1:4. 5" thick brick work to be reinforced with 1 no. 6 dia rod at every 4<sup>th</sup> layer. In both 10" and 5" thick brick walls, a continuous band of R.C.C at lintel level to be given.
4. **Roof Height** : 11'-0" Floor to floor, except as specified.
5. **Cement Plaster** : On RCC Surfaces in CM 1:4. On brick surfaces in CM 1:6.
6. **Flooring** : Sand Filling upto Plinth Level, properly watered and rammed  
Flat Brick Soling 3" thick  
PCC 1:3:6 4" thick

in Class Rooms- Kota Stone Flooring

Hall, Common Areas, Green Room, Corridor, Staircases, with Kota Stone Flooring.

Principal Chamber, Staff Room Office and Waiting areas-Vitrified Tile Flooring(SOMANY / KAJARIA / JOHNSON) double charged/ (approved by DAV CMC)  
(Soluble Salt tiles shall not be permitted)

- Bathroom Flooring to be of Good Quality Ceramic Tiles of size 1'-0" x 1'-0". (Makes as given above)  
Toilet Dado- Full Height 9'-4" (upto Roof Ceiling)  
All toilet fixtures - Hindware, Parryware/  
(approved by DAV CMC)
7. **Dado** : 5'-0" high glazed tiles on one side of the verandahs
  8. **Doors** : 35mm thick Phenol Bonded Flush Doors, brand GREENPLY / CENTURY or ISI Mark made or 38mm thick gambhar doors, with gambhar wood, as per design and details.
  9. **Door Choukhats** : Angle Iron Choukhats to be given.
  10. **Windows** : Steel Glazed Windows / as per specification.
  11. **Painting** : Exterior Acrylic smooth exterior paint from M/s Berger / Asian/ Nerolac on all external surfaces and verandahs. (Min. 2 coats over a coat of white cement).  
  
Emulsion Paint in all Classrooms.  
  
Entrance Hall / Waiting Lobby, Principals Chamber / Office & Staff room, with J.K.Wall Putty and Emulsion Paint.  
  
Doors / Windows with 1<sup>st</sup> quality Synthetic Paint over 1 coat of Primer.
  12. **Plinth Protection** : 2'-6" all around building with 50mm thick cement concrete (1:3:6) over Brick flat Soling, pointed, etc. as per CPWD Specifications. Waterproofing in down slab.
  13. **Plumbing and Sanitary:** All CPVC Pipes to be of Ashirwad / Astral / Prince / Supreme).  
(This includes jointing of pipes & fittings with one step CPVC solvent cement and testing of joints complete as per direction of Engineer in Charge. All GI pipes of Tata.  
  
All SWR Pipes to be 4" dia, PRINCE / SUPREME / KISSAN / FINOLEX/(approved by DAV CMC)  
All C.P Fittings to be of ESSCO/ARC. No local fittings shall be allowed.  
All urinals / w.c's wash basins to be of CERA / JAQUAR / HINDWARE / RELIANCE SANITATION / HINDUSTAN, full size  
(approved by DAV CMC)
  14. **Electrical** : Concealed Wiring for all Electrical Points,  
All switches to be of ANCHOR / CONA / KOLORS / HARSON Make  
All wires to be of FINOLEX / ANCHOR / MALLA / RR

/HARSON / Polycab make

One 16 Amp Socket point including wire and fixtures to be given in every class room all complete as per Drawings (as per Engineer-in-Charge)

15     **Stair railing**                 :         M.S Railing

16.     **Makes of Materials**       :         As per attached sheet

17.     **Measurement of Plinth Area:**

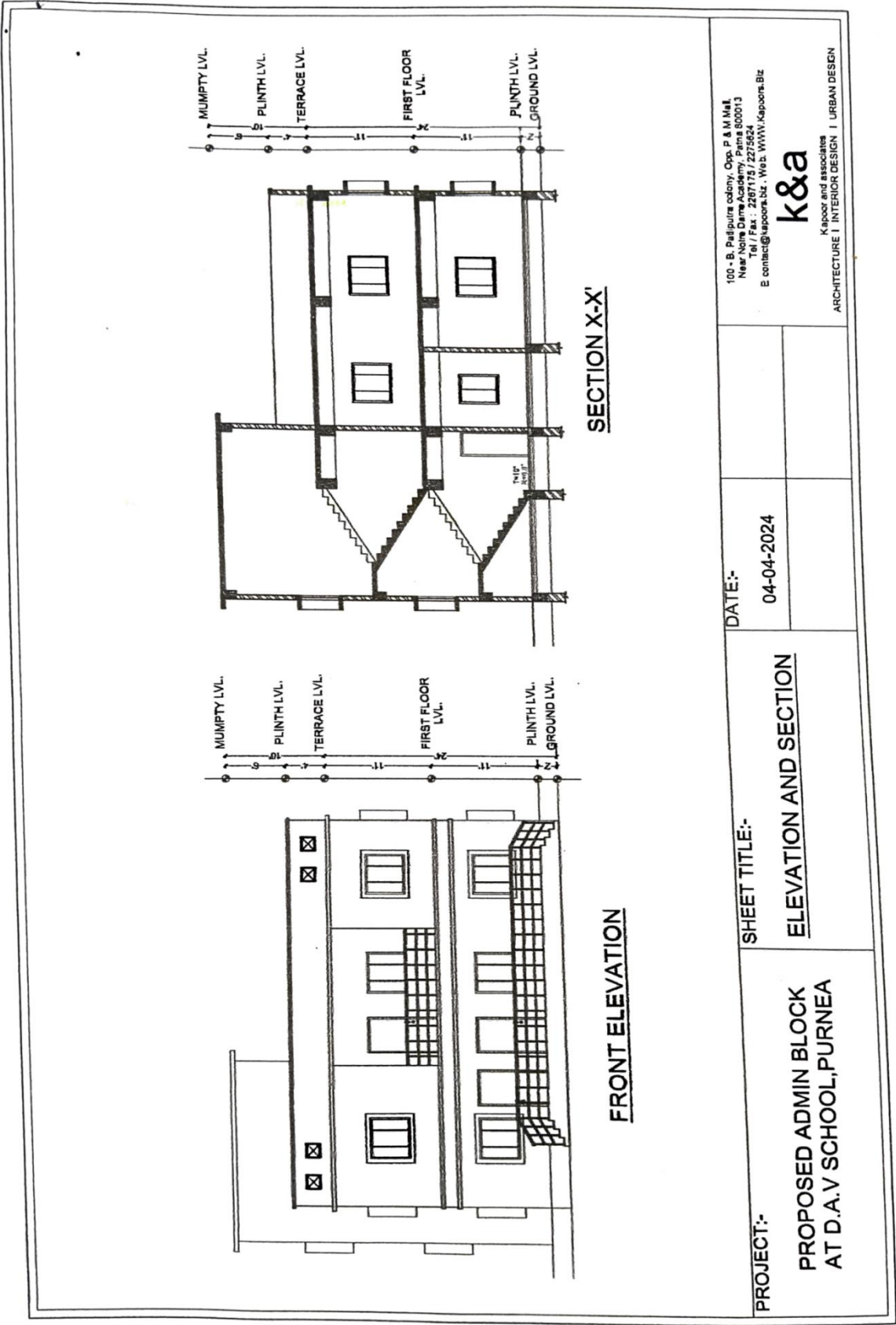
This shall be as per DAV Standards, where the area upto the Outer Line of the Columns / Projections shall be measured, if the RCC Roof extends to such areas. If not, only the actual footprint of the columns shall be added to the areas. Areas of chajjas, etc. SHALL NOT be added to plinth areas.

Note:- Building surrounding areas to be develop by Contractor as per Drawing / (as per Engineer-in-Charge)

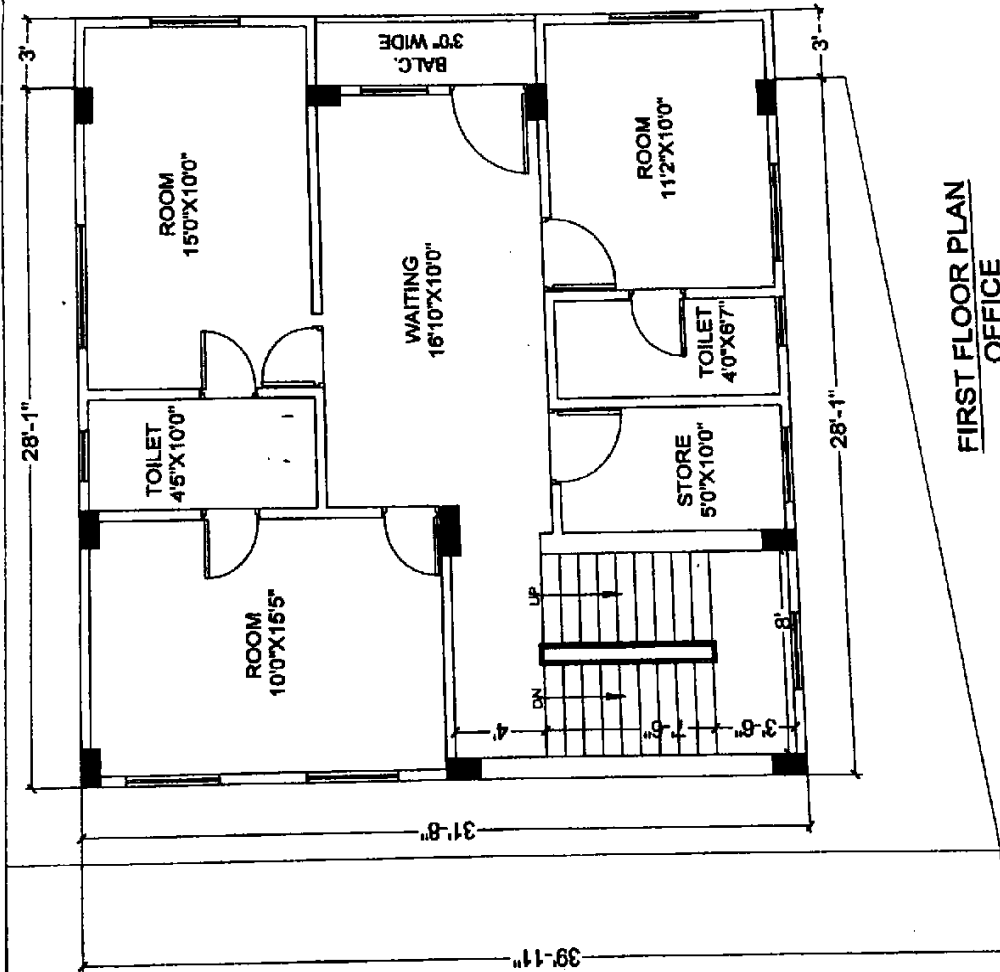
18.     **Curing**

It shall be ensured that on any work where "cement" is used, full curing is done for a period of 15 days.

**Note:** The defect liability period shall be for 12 months after the entire building / the part fully completed and handed over / occupied by the School has been fully completed / occupied and handed over. 10% of the payment of the Contractor shall be retained for a period of 12 months from the date of final finishing / completion / handing over to the School.







NOTE:-  
CHANGES HAVE BEEN MADE AS  
PER DIRECTIONS FROM DAV

**FIRST FLOOR PLAN  
OFFICE**

100-18, Prithviraodh, Opp. P. & M. Bank,  
Near Noida Durga Academy, Noida-201305  
Tel / Fax : 2261113 / 2261114  
E: contact@kandarpur.com, Web: WWW.Kandarpur.com

**k&a**  
Kandarpur and Associates  
ARCHITECTURE | INTERIOR DESIGN | URBAN DESIGN

DATE:-  
09-05-2022

SHEET TITLE:-  
**FIRST FLOOR PLAN  
OFFICE OPTION-3**

PROJECT:-  
**PROPOSED ADMIN BLOCK  
AT D.A.V SCHOOL, PURNEA**

# K A P O O R

# A N D

# A S S O C I A T E S

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REF:DAV/02053A/2024					August 13th, 2025	
BILL OF QUANTITY FOR CIVIL WORKS (ADMINISTRATIVE BLOCK, G+1)						
AT DAV PUBLIC SCHOOL, PURNEA						
CONSULTANTS: KAPOOR AND ASSOCIATES						
			Rate in Figure	Rate in Words		
		Construction of Building(G+1) Rate per S.Ft.(including all Civil Works Electrical & PHE Works, as / directions and instructions )	.....	.....		
				Built-Up Area	2385.00 S.Ft	
BASED ON S.O.R. B.C.D.GOV.T. OF BIHAR EFFECTIVE FROM 01/01/2022/MR						
SL.NO	ITEM COD	DESCRIPTION	UNIT	QTY.	RATE	
					AMOUNT	
1	2.29	Surface dressing of the ground including removing vegetation and inequalities not exceeding 15 cm deep and disposal of rubbish, lead upto 50 m and lift upto 1.5 m				
	2.29.1	All kinds of soil.	100sqm	2.40		
2	2.8	Earth work in excavation in foundation trenches or drains (not exceeding 1.5m in width or 10 sqm on plan) including dressing of sides and ramming of bottoms, lift up to 1.5m, including getting out the excavated soil and disposal of surplus excavated soil as directed within a lead of 50m.				
	2.8.1	All kinds of soil	Cum	92.244		
3	2.6	Earth work in excavation over areas ( exceeding 30 cm in depth. 1.5 m in width as well es 10 sqm on plan) including disposal of excavated earth , lead upto 50 m and lift upto 1.5 m; disposed earth to be levelled and neatly dressed.				
	2.6.1	All kinds of soil	Cum	166.23		
4	2.26	Filling available excavated earth (excluding rock) in trenches, plinth, sides of foundations etc. in layers not exceeding 20cm in depth, consolidating each deposited layer by ramming and watering lead.	Cum	200.71		
5	2.27	Extra for every additional lift of 1.5 m or part thereof in :				
	2.27.1	All kinds of soil	Cum	84.73		
6	2.28	Supplying and Filling in plinth with local sand and under floors including watering, ramming consolidating and dressing complete.	cum	77.22		
7	4.1	Providing and laying in position cement concrete of specified grade excluding the cost of centering and shuttering-All work up to plinth level:				
	4.1.8	1:4:8 (1 Cement: 4 coarse sand : 8 graded stone aggregate 40 mm nominal size)	cum	10.27		
	4.1.5	1:3:6 (1 Cement: 3 coarse sand : 6 graded stone aggregate 20 mm nominal size)	cum	8.24		

8	4.3	Centering and shuttering including strutting, propping etc. and removal of form work for:				
	4.3.1	Foundations, footings, bases for columns	Sqm	19.21		
9	4.2	Providing and laying cement concrete in retaining walls, return walls, walls (any thickness) including attached pilasters, columns, piers, abutments, pillars, posts, struts, buttresses, string or lacing courses, parapets, coping, bed blocks, anchor blocks, plain window sills, fillets etc. up to floor five level, excluding the cost of centering, shuttering and finishing.				
	4.2.6	1:3:6 (1 cement: 3 coarse sand: 6 graded stone aggregate 40mm nominal size)	cum	2.46		
10	Based on 4.17	Making plinth protection 50mm thick of cement concrete 1:3:6(1 cement:3 coarse sand:6 graded stone aggregate 20mm nominal size) over one brick flat soling well rammed and consolidated and grouted with fine sand including finishing the top smooth.	sqm	32.79		
11	5.33	Providing and laying in position ready mixed or site batched design mix cement concrete for reinforced cement concrete work; using coarse aggregate and fine aggregate derived from natural sources, Portland Pozzolana /Ordinary Portland /Portland Slag cement, admixtures in recommended proportions as per IS: 9103 to accelerate /retard setting of concrete, to improve durability and workability without impairing strength; including pumping of concrete to site of laying, curing, carriage for all leads; but excluding the cost of centering, shuttering, finishing and reinforcement as per direction of the engineer-in-charge; for the following grades of concrete. <b>Note: Extra cement up to 10% of the minimum specified cement content in design mix shall be payable separately. In case the cement</b>				
		<b>content in design mix is more than 110% of the specified minimum cement content, the contractor shall have discretion to either re-design the mix or bear the cost of extra cement.</b>				
	5.33.1	All works up to plinth level				
	5.33.1.1	Concrete of M-25 grade with minimum cement content of 330 kg/cum	cum	41.08		
	5.33.1.2	Concrete of M-30 grade with minimum cement content of 350 kg/cum	cum	4.15		
	5.33.2	All work from plinth level upto floor V level				
	5.33.2.1	Concrete of M-25 grade with minimum cement content of 330 kg/cum	cum	64.96		
	5.33.2.2	Concrete of M-30 grade with minimum cement content of 350 kg/cum	cum	12.05		
12	5.35	Add for using extra cement in the items of design mix over and above the specified cement content therein.	quintal	34.99		
13	5.9	Centering and shuttering including strutting, propping etc. and removal of form for:				
	5.9.1	Foundations, footings, bases of columns, etc. for mass concrete.	Sqm	33.10		
	5.9.2	Walls (any thickness) including attached pilasters. Butteresses, plinth and string courses etc.	sqm	0.00		
	5.9.3	Suspended floors, roofs, landings, balconies and access platform.	sqm	191.97		
	5.9.4	Shelves (Cast in situ)	sqm	0.00		
	5.9.5	Lintels, beams, plinth beams, girders, bressumers and cantilevers.	sqm	305.18		

	5.9.6	Columns, Pillars, Piers, Abutments, Posts and Struts.	sqm	168.94		
	5.9.7	Stairs, (excluding landings) except spiral-staircases.	sqm	27.08		
	5.9.15	Small lintels not exceeding 1.5m clear span, moulding as in cornices, window sills, string courses, bands, copings, bed plates, anchor blocks and the like.	sqm	44.87		
	5.9.16	Edges of slabs and breaks in floors and walls.				
	5.9.16.1	Under 20cm wide	Metre	1178.72		
	5.9.19	Weather shade, Chajjas, corbels, etc. including edges.	sqm	12.55		
14	5.11	Extra for additional height in centring, shuttering where ever required with adequate bracing, propping etc. including cost of de-shuttering and de centring at all levels over a height of 3.5 m ,for every additional height of 1 metre or part thereof (Plan area to be measured)				
	5.11.1	Suspended floors, roots, laning, beams and balconies (Plan area to be measured)	sqm	10.44		
15	5.22	Reinforcement for R.C.C work including straightening, cutting, bending, placing in position and binding all complete.				
	5.22.7A	Thermo-Mechanically Treated bars TMTC-500-8mm dia	Kg	3487.75		
	5.22.7B	Thermo-Mechanically Treated bars TMTC-500-10mm dia	Kg	3100.22		
	5.22.7C	Thermo-Mechanically Treated bars TMTC-500-12mm dia	Kg	968.82		
	5.22.7D	Thermo-Mechanically Treated bars TMTC-500-16mm dia	Kg	3390.87		
	5.22.7E	Thermo-Mechanically Treated bars TMTC-500-20mm dia	Kg	7556.80		
	5.22.7F	Thermo-Mechanically Treated bars TMTC-500-25mm dia	Kg	871.94		
16	6.1A	Brick work with bricks of class designation 100A in foundations and plinth in :				
	6.1.14A	Cement mortar 1:6(1 cement:6 coarse sand)	cum	11.81		
17	6.1A	Brick work with bricks of class designation 100A in superstructure above plinth level upto floor V Level				
	6.1.14A+6.3A	Cement mortar 1:6(1 cement:6 coarse sand)	cum	15.22		
18	6.18A	Half brick masonry with bricks of class designation 100A in foundations and plinth in :				
	6.18.4A	Cement mortar 1:4 (1 cement: 4 coarse send)	sqm	0.00		
19	6.18A	Half brick masonry with bricks of class designation 100A in superstructure above pinth level upto floor V level				
	6.18.4A+6.19A	Cement mortar 1:4 (1 cement: 4 coarse send)	sqm	353.66		
20	6.13A	Brick work 7cm thick with brick of class designation 100A cement mortar 1:3 (1 cement: 3 coarse sand) in super structure	sqm	5.89		
21	Based on 6.21A	Extra for providing and placing in position 1 no. 6mm dia, MS bars at every fourth course of half brick masonry (with F.P.S bricks)	sqm	353.66		
22	9.21	Providing and fixing ISI marked flush door shutters conforming to IS : 2202 (Part I) non-decorative type,core of block board construction with frame of 1 st class hard wood and well matched commercial 3 ply veneering with vertical grains or cross bands and face veneers on both faces of shutters:				

	9.21.1	35mm thick including ISI marked Stainless Steel butt hinges with necessary screws.	sqm	26.27		
23	9.23	Extra for providing lipping with 2nd class teak wood battens 25mm minimum depth on all edges of shutters (over all area of door shutter to be measured)	sqm	26.27		
24	9.9	Providing and fixing glazed shutters for doors, windows and clerestory windows using 4 mm thick float glass panes including ISI marked M.S. pressed butt hinges bright finished of required size with necessary screws.				
	9.9.3	Kiln seasoned selected planks of sheesham wood				
	9.9.3.2	30 mm thick	sqm	1.77		
25	9.48	Providing and fixing M.S grills of required pattern in frames of windows etc. with M.S flats, square or round bars etc. including priming coat with approved steel primer all complete.				
	9.48.1	Fixed to steel windows by welding	Kg	0.00		
	9.48.2	Fixed to openings / wooden frames with rawl plugs screws etc.	Kg	505.93		
26	9.96	Providing and fixing aluminium sliding door bolts ISI Marked anodised (anodic coating not less than grade AC 10 as per IS:1868) transparent or dyed to required colour and shade with nuts and screws etc. complete:				
	9.96.1	300x16mm	Each	11.00		
	9.96.2	250x16mm	Each	0.00		
27	9.97	Providing and fixing aluminium tower bolts ISI Marked anodised (anodic coating not less than grade AC 10 as per IS:1868) transparent or dyed to required colour or shade with necessary screws etc. complete:				
	9.97.1	300x10mm	Each	11.00		
	9.97.4	150x10mm	Each	29.00		
28	9.100	Providing and fixing aluminium handles anodised ISI Marked (anodic coating not less than grade AC 10 as per IS:1868) transparent or dyed to required colour or shade with necessary screws etc. complete:				
	9.100.1	125mm	Each	21.00		
29	9.101	Providing and fixing aluminium hanging floor door stopper ISI Marked anodised (anodic coating not less than grade AC 10 as per IS:1868) transparent or dyed to required colour and shade with necessary screws etc. complete.				
	9.101.2	Twin rubber stopper	Each	16.00		
30	9.103	Providing and fixing bright finished brass 100mm mortice latch and lock with six levers and a pair of anodised (anodic coating not less than grade AC 10 as per IS:1868) aluminium lever handles with necessary screws etc. complete (Best make of approved quality).	Each	11.00		

31	21.1	Providing and fixing aluminium work for doors, windows, ventilators and partitions with extruded built up standard tubular sections/ appropriate Z sections and other sections of approved make conforming to IS: 733 and IS:1285, fixing with dash fasteners of required dia and size, including necessary filling up the gaps at junctions, i.e. at top, bottom and sides with required EPDM rubber/ neoprene gasket etc. Aluminium sections shall be smooth, rust free, straight, mitred and jointed mechanically wherever required including cleat angle, Aluminium snap beading for glazing / aneling, C.P. brass / stainless steel screws, all complete as per architectural drawings and the directions of Engineer-in-charge. (Glazing, paneling and dash fasteners to be paid for separately) :				
	21.1.1	For fixed portion				
	21.1.1.1	Anodised aluminium (anodised transparent or dyed to required shade according to IS: 1868, Minimum anodic coating of grade AC 15)	Kg	151.78		
	21.1.2	For shutters of doors, windows & ventilators including providing and fixing hinges/ pivots and making provision for fixing of fittings wherever required including the cost of EPDM rubber / neoprene gasket required (Fittings shall be paid for separately)				
	21.1.2.1	Anodised aluminium (anodised transparent or dyed to required shade according to IS: 1868, Minimum anodic coating of grade AC 15)	Kg	75.89		
32	21.3	Providing and fixing glazing in aluminium door, window, ventilator shutters and partitions etc. with PVC/neoprene gasket etc. complete as per the architectural drawings and the directions of engineer-in-charge. (Cost of aluminium snap beading shall be paid in basic item):				
	21.3.2	With glass panes of 5.50 mm thickness (weight not less than 13.75 kg/sqm)	Sqm	21.50		
33	21.8	Filling the gap in between aluminium frame & adjacent RCC/Brick/Stone work by providing weather silicon sealant over backer rod of approved quality as per architectural drawings and direction of Engineer-in-charge complete.				
	21.8.1	Upto 5mm depth and 5mm width.	Metre	88.43		
34	10.15	Providing and fixing pressed steel door conforming IS code 351 manufactured from commercial mild steel sheet of 1.25 mm thickness including hinges, jamb, lock jamb, bead and if required angle threshold of mild steel angle of section 50 x 25 mm or base ties of 1.25mm pressed mild steel welded or rigidly fixed together by mechanical means, adjustable lugs with split end tail to each jamb including steel butt hinges 2.5 mm thick with mortar guards, lock strike-plate and shock absorbers as specified and applying a coat of approved steel primer after pre-treatment of the surface as directed by Engineer-in-charge:				
	10.15.1	Profile B				
	10.15.1.1	Fixing with adjustable lugs with split end tail to each jamb	metre	101.46		

35	10.18	Providing and fixing circular/hexagonal cast iron or M.S sheet box for ceiling fan clamp 140 mm internal dia, 73 mm height, 5 mm thick rim bottom and top lids, 1.5 mm thick M.S sheet with its top surface hacked for proper bonding top lid shall be screwed into the cast iron box by means of 3.3 mm dia round headed screws, one lock at the corners. Clamps shall be made of 12 mm dia M.S. bar bent to shape as per standard drawing	Each	14.00		
36	10.32	Steel work welded in built up sections/framed work including cutting hoisting, rixing in position and applying a priming coat of approved steel primer using structural steel, etc. as required.				
	10.32.2	In gratings, frames, guard bar, ladders,	Kg	513.45		
37	10.33	Providing and fixing hand rail by welding etc. to steel ladder railings & staircases railing including applying apriming coat of approved steel primer				
	10.33.1	MS tube (medium) 40mm nominal bore	Kg	102.98		
38	11.41	Providing and laying vitrified floor tiles in different sizes {thickness to be specified by the manufactruer} with water absorption's less than 0.08 % and conforming to IS : 15622 of approved make in all colours and shades, laid on 20 mm thick cement mortar 1:4 (1 cement: 4 coarse sand ) including grouting the joint with white cement and matching pigments etc., complete.Flooring (SOMANY / KAJARIA / RAK / JOHNSON) double charged (Soluble Salt tiles shall not be permitted)				
	11.41.2	Size of Tile 60x60 cm	sqm	84.94		
39	11.46	Providing and laying Vitrified tiles in different sizes (thickness to be specified by manufacturer), with water absorption less than 0.08 % and conforming to I.S. 15622, of approved make, in all colours & shade, in skirting, riser of steps, over 12 mm thick bed of cement mortar 1:3 (1 cement: 3 coarse sand), including grouting the joint with white cement & matching pigments etc. complete.(SOMANY / KAJARIA / RAK / JOHNSON) double charged (Soluble Salt tiles shall not be permitted)				
	11.46.2	Size of Tile 600 x 600 mm.	sqm	8.19		
40	11.38	Providing and laying Ceramic glazed floor tiles 300x300mm (thickness to be specified by the manufacturer) of 1st quality conforming to IS:15622 of approved make in all colours, shades, except White, Ivory, Grey, Fume Red Brow laid on 20mm thick bed of Cement Mortar 1:4 (1 Cement: 4 Coarse sand) including pointing the joints with white cement and matching pigments etc. complete.	sqm	17.99		
41	11.36	Providing and fixing 1st quality ceramic glazed wall tiles conforming to IS:15622(thickness to be specified by the manufacture) of approved make in all colours, shades except burgundy, bottle green, black of any size as approved by Engineer-in-Charge in skirting, risers of steps and dados over 12mm thick bed of cement Mortar 1:3(1 cement: 3 coarse sand ) and jointing with grey cement slurry @ 3.3 kg per sqm including pointing in white cement mixed with pigment of matching shade complete.	sqm	68.01		

42	8.13	Providing and laying Polished Granite stone flooring in required design and patterns, in linear as well as curvilinear portions of the building all complete as per the architectural drawings with 18 mm thick stone slab over 20 mm (average) thick base of cement mortar 1:4 (1 cement : 4 coarse sand) laid and jointed with cement slurry and pointing with white cement slurry admixed with pigment of matching shade including rubbing , curing and polishing etc. all complete as specified and as directed by the Engineer-in-Charge.				
	8.13.1	Polished Granite stone slab jet Black, Cherry Red, Elite Brown, Cat Eye or equivalent.	sqm	4.26		
43	11.26	Kota stone slab flooring over 20mm (average) thick base laid over and jointed with grey cement slurry mixed with pigment to match the shade of the slab including rubbing and polishing complete. Base with 1:1:1 (1 lime : 1 surkhi: 1 coarse sand ) / 1:4 (1 cement: 4 coarse sand )				
	11.26.1	20 to 25mm thick	sqm	96.64		
44	11.27	Kota stone slab 20 mm thick in risers of steps skirting. Dado & pillars laid on 12mm (average thick cement mortar 1:3( 1 cement: 3 coarse sand) and jointed with grey cement slurry mixed with pigment to match the shade of the slab including rubbing and polishing complete.	sqm	25.66		
45	11.72	Providing designation 100A one brick flat soling joints filled with local sand including cost of watering, taxes, royalty all complete as per building specification and direction of E/I.	sqm	200.47		
46	12.39	Making khurras 45x45 cm with average minimum thickness of 5 cm cement concrete 1:2:4( 1 cement: 2 coarse sand: 4 graded stone aggregate of 20mm nominal size) over P.V.C sheet 1mx1mx400 micron, finished with 12mm cement plaster 1:3(1 cement: 3 coarse sand) and a coat of neat cement rounding the edge sand making and finishing the outlet complete.	Each	3.00		
47	13.11	12mm cement plaster of mix:				
	13.11.2	1:4(1 cement :4 coarse sand)	sqm	70.57		
	13.11.4	1:6(1 cement: 6 coarse sand)	sqm	311.19		
48	13.12	15mm cement plaster on the rough side of single or half brick wall of mix:				
	13.12.4	1:6(1 cement: 6 coarse sand)	sqm	311.19		
49	13.13	20mm cement plaster of mix:				
	13.13.4	1:6(1 cement: 6 coarse sand)	sqm	480.64		
50	13.24	6mm cement plaster to ceiling of mix:				
	13.24.2	1:4( 1 cement: 4 coarse sand)	sqm	202.06		
51	13.77	Distempering with oil bound acrylic distemper of approved brand and manufacture to give an even shade .				
	13.77.2	New work (two or more coats ) over and including priming coat with cement primer	sqm	555.19		
52	13.70	White washing with lime to give an ever shade				
	13.70.1	New work (three or more coats)	sqm	289.85		
53	13.80A.2	Providing and applying white cement based putty of average thickness 2 mm, of approved brand and manufacturer, over the plastered wall surface to prepare the surface even and smooth complete	sqm	555.19		
54	13.46	Finishing walls with Acrylic Smooth exterior paint of required shade :				

	13.46.1	New work (Two or more coat applied @ 1.67 ltr/ 10 sqm over and including priming coat of exterior primer applied @ 2.20 kg/ 10 sqm)	sqm	530.60		
55	13.81	Applying priming coat:				
	13.81.1	With ready mixed pink or Grey primer of approved brand and manufacture on wood work (hard and soft wood)	sqm	77.88		
56	13.94	Painting with synthetic enamel paint of approved brand and manufacture of required colour to give an even shade:				
	13.94.1	Two or more coats on new work over an under coat of suitable shade with ordinary paint of approved brand and manufacture.	sqm	136.27		
57	13.116	Forming groove of uniform size from 12x12mm and upto 25x15mm in plastered surface as per approved pattern using wooden battens, nailed to the under layer including removal of wooden battens, repairs to the edges of plaster panel and finishing the groove complete as per specifications and direction of the Engineer-in-Charge.	Metre	85.16		
58	22.3	Providing and laying water proofing treatment to vertical and horizontal surfaces of depressed portions of W.C. kitchen and the like consisting of: (i) 1st course of applying cement slurry @ 4.4 kg/sqm mixed with water proofing compound conforming to IS 2645 in recommended proportions.(ii) 11 nd course of 20 mm cement plaster 1:3 (1 cement:3 coarse sand)mixed with water proofing compound in recommended proportion, (iii) 11lrd course of applying blown or/residual bitumen applied hot at 1.7 kg. per sqm of area, (iv) 1vth course of 400 micron thick PVC sheet.(Overlaps at joints of PVC shet should be 100 mm wide and pasted to each other with bitumen @ 1.7 kg/sqm).	sqm	12.18		
59	22.8	Providing and laying integral cement based water proofing treatment including preparation of surface as required for treatment of roofs, balconies , terraces etc, consisting of following operations. (a) Applying and grouting a slurry coat of neat cement using 2.75 kg/sqm of cement admixed with proprietary water - proofing compound cleaning the surface before treatment, (b) Laying cement concrete using broken bricks / brick bats 25 mm to 100 mm size with 50 % of cement mortar 1:5 (1 cement: 5 coarse sand ) admixed with proprietary water proofing compound conforming to IS : 2645 over 20 mm thick layer of cement mortar of mix 1:5 (1 cement: 5 coarse sand ) admixed with proprietary water proofing compound conforming				

		to IS 2545 to required slope and treating similarly the adjoining walls upto 300 mm height including rounding of junctions, or walls and slabs. (c) After two days of proper curing applying a second coat of cement slurry admixed with proprietary water proofing compound conforming to IS : 2645. (d) Finishing the surface with 20 mm thick jointless cement mortar of mix 1:4 (1 cement: 4 coarse sand ) admixed with proprietary water proofing compound conforming to IS : 2645 and finally finishing the surface with trowel with neat cement slurry and making of 300 x 300 mm square. (e) The whole terrace so finished shall be flooded with water for a minimum period of two weeks for curing and for final test, All above operations to be done in order and as directed and specified by the Engineer-in-Charge.				
	22.8.1	With average thickness of 120mm and minimum thickness at khurra point to be 65.	Sqm	106.19		

## **MODE OF PAYMENT/DEDUCTION**

- a. For Actual Height 11'-0":**--Payment will be made as per DAV standards based on built up area. No payment shall be made for chajja projection.
- b. For Height more than 11'-0":**--Payment will be made as per actual construction cost involved in construction of more height.
- c. For Height less than 11'-0":**--Payment will be made less for lesser height on the basis of actual cost of construction.
- d. For Extra work:**--In case of any extra work done apart from drawing ,actual cost of construction will be paid.
- e. Deviation from drawing and specification:**--Only difference of extra cost will be paid in comparison to actual work and specification.
- f. Plinth Height:**--Upto 4'-0" plinth height payment will be made as per DAV Standards, on the basis of plinth area basis.
- g. Deviation in Plinth Height:**--Any kind of deviation from 4'-0" plinth height, will be dealt with difference of cost of construction from actual height.
- h. Column supported floors:** - In case of column supported floors, cost of construction of Brick wall, Lintel, Plaster, Doors, Windows, Paining etc. will be deducted from payment based on plinth area basis.
- i. Canopy:**--Payment for Canopy projection will be based on actual cost of construction.

**NOTICE FOR COMMENCEMENT OF WORK BY CONTRACTOR**  
**OF S.R.D.A.V.PUBLIC SCHOOL,PURNEA**

From,

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To,

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This is to certify that the building renovation work of erection, erection or making additions and alteration of SR D.A.V. PUBLIC SCHOOL ,located at.....

khata no. .... Plot No. .... Ward no. .... Dist. PURNEA,

Bihar, will be commenced on..... as per your permission vide letter No.

.....dated...../...../2025 under the supervision of.....

Architect/Engineer and in accordance with plan approved.

With Warm Regards

Signature of Contractor

Place :--

Name :--

Date ;--

Designation:--

**CERTIFICATE FOR EXECUTION OF WORK BY CONTRACTOR**

**OF S.R.D.A.V.PUBLIC SCHOOL, CHUNAPUR ROAD, PURNEA.**

From,

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To,

-----  
-----  
-----

This is to certify that the building work of erection, erection or making additions and alteration of S.R D.A.V.PUBLICSCHOOL, located at-----khata no.-----  
-----PlotNo.-----Wardno.-----  
Dist.-----Bihar has been constructed by us strictly in accordance with the norms and standards set by C.P.W.D. / P.W.D. specifications, BIS, N.B.C. Codes and the drawings, design supplied by the School / it's Architects/it's Engineers.

It is also certified that the workmanship, curing, quality of materials like bricks, stone, sand, cement, steel etc.(type of grade) are of good quality and as per relevant codes/ specifications.

It is also certified that at no places, neither leaner mix of concrete/Cement mortar/Plaster etc., nor lessor reinforcement has been utilized than specified.

It is also certified that at every stage our own Technically Qualified Engineers have supervised the construction work and are responsible for the entire work carried out as per the drawings, designs, specifications supplied to us.

We also indemnify the School/it's Architects /it's Engineers against any damage caused due to any deficiencies on our part.

With Warm Regards

Signature of Contractor

Place:--

Name:--

Date:--

Designation:--

### **PAYMENT SCHEDULE & DEDUCTIONS**

- 1 Payment against work done should be on a running bill basis, aligned with the actual work completed over time.
- 2 The Running Bill will be submitted by the contractor only after completion of work in all respect upto the limit of 40 Lakhs & above.
- 3 The Running Bill will be verified and assessed by the architect and further process of making payment as per DAV CMC norms will be completed before making payment.
- 4 In case of any delay to release payment due to unavoidable circumstances or completion of procedure, the contractor is liable to get 75% of Running Bill amount as advance after architect verification report. Else full amount will be paid if the procedure is completed within expected time.
- 5 The school will retain 10% of the renovation value as Retention Money for a 12 month defect liability period. After this period, and upon the contractor's request, the retention money will be released once the architect verifies the building's condition. However, any costs for defects that the contractor does not fix will be deducted from this amount.
- 6 TDS will be deducted as per IT Norms.